

CITY OF MUSKEGON
HISTORIC DISTRICT COMMISSION
STANDARDS FOR HISTORIC PRESERVATION

Adopted January 10, 1990
Effective February 1, 1990
Amended November 1, 1994
Amended October 1, 2019

CITY OF MUSKEGON

HISTORIC DISTRICT COMMISSION

STANDARDS FOR HISTORIC PRESERVATION

In compliance with the 1986 amendments to the Historic District Commission Act (PA 169 of 1970) of the State of Michigan, the Historic District Commission of the City of Muskegon hereby revises the previously adopted design guidelines for historic preservation and adopts the following Standards to govern actions concerning properties, public as well as private, under its jurisdiction.

Definitions

“Building” includes any construction of a permanent nature primarily intended for human occupancy.

“Compatible” implies that an old and a new material to be mixed are of the same kind or nature, or that they have homogeneous physical qualities.

“Composition” includes both the arrangement into proper proportion or artistic form and the quantitative (number) and qualitative (grade) makeup of replacement materials.

“District” refers to geographic regions of the City of Muskegon as defined by Ordinance. Such districts may be further distinguished by rating the significance of the structures therewithin.

“Environment” includes the character and usage of surrounding parcels, including streets and the like.

“Historic” implies a relationship to an earlier area or period, and may include reference to personages, uses, architecture, materials, and/or methods and techniques.

“May” implies discretionary application of the standard. “Can” or “could” are synonyms therefor.

“Replication” is a precise duplicate or facsimile of an object made by using tools or techniques which were not available when the original object was first made.

“Reproduction” is a precise duplicate or facsimile of an object made by using only tools and techniques which were available when the original object was first made.

“Shall” implies mandatory application of the standard.

“Significance” is to be interpreted from the context of its usage; each and every factor, feature, style, structure, and site has some measure of architectural, historical, and/or craftsmanship significance.

“Site” implies a specific parcel to which the standards are to be applied.

“Structure” includes any construction on a given parcel.

The use of singular forms in the standards implies inclusion of the plural and conversely.

The use of gender specific terms herein is intended to be generic, with either gender to be included.

General

1. The several Historic Districts of the City of Muskegon, as established by Ordinance, may be identified by the Historic District Commission on the basis of their respective inventory of structures as rated by the survey conducted in 1973, along with current consideration and review using the combined expertise of the Commissioners of the Historic District Commission of the City of Muskegon.

2. The Standards herein shall be interpreted so as to mandatorily apply the most stringent requirements in all cases involving properties within all districts. However, each exception to or relaxation of the Standards shall be made, when permitted, only for due cause, fully documented on the record of the case.

3. Whenever an issue may be resolved by the application of either of two or more standards, the Historic District Commission shall recommend the preferred standard.

4. Economic factors may be considered for the record only. Such factors shall not otherwise influence the application of the standards. Applicants shall, if they request consideration of economic factors, be provided with all available information regarding avenues of financial assistance.

5. Decisions of the Historic District Commission reached prior to the effective date of these revised standards shall not be considered as precedents for decisions made subsequent to said effective date.

6. The architectural status of each structure, building, site, and environment, including materials used therein, existing on the effective date of these revised standards shall be used as the base line for further decisions regarding the property.

7. Factors such as public health, public safety, and public necessity shall be given full consideration in all cases wherein such factors arise.

8. It shall be the goal of the Historic District Commission to apply the highest standards of historic preservation to each case, as warranted by the circumstances.

Standards for Rehabilitation

1. The distinguishing original qualities or character of a building, structure, or site, and its environment, shall not be destroyed.

2. All buildings, structures, and sites shall be recognized as products of their own time. Alternations that have no historical basis and which seek to create an earlier, undocumentable

appearance shall not be allowed. However, documentable earlier treatments may be permitted on a proper request stating the reasons for such change of appearance or treatment.

3. Changes which may have taken place in the course of time are evidence of the history and development of a building, structure, or site and its environment. Such changes may have acquired significance in their own right, and such significance shall be recognized and respected.

4. Distinctive architectural features or examples of skilled craftsmanship, methods, and/or materials which characterize a building, structure, or site shall be recognized and respected.

5. Deteriorated architectural components shall be repaired rather than replaced, as a first course of action. In the event replacement is necessary, the new material shall be of compatible composition with the material being replaced. Replacement material shall be reproduced or replicated, on the decision of the Historic District Commission, but only to the extent that such can be substantiated by historic, physical, or pictorial evidence.

6. The surface cleaning of structures shall be undertaken with the gentlest means possible. Cleaning methods that will damage historic building materials shall not be undertaken.

7. Every reasonable effort shall be made to protect and preserve archeological resources affected by, or adjacent to, any project.

8. Rehabilitation of structures within historic districts shall be accomplished through application of the highest standards herein, without exception.

9. Rehabilitation of structures within districts may be accomplished using materials exhibiting other than fully compatible physical characteristics and/or construction techniques that were not available at the time of origin of the structure or its element, so long as such alternate materials and/or techniques are sufficient to satisfy the requirements of the Standards of Rehabilitation 1 through 4, inclusive, hereinabove.

10. It shall remain within the discretion of the Historic District Commission to approve all such materials and/or construction techniques.

Standards for Alterations/Additions

1. Contemporary design for alterations and additions to existing buildings or structures shall not be discouraged when such alterations and/or additions do not destroy significant historical, architectural, or cultural material or features, and so long as such new design is compatible with the size, scale, material, and character of the property, site, district, or environment.

2. New additions or alterations to structures shall be done in such a manner that if such additions or alterations were to be subsequently removed, the essential form and integrity of the structure, as it existed prior to such additions or alterations, would be unimpaired.

3. Alterations or additions to structures necessitated by act of law or for personal convenience to

enable or to improve accessibility to the structure for handicapped persons shall be approved, with the Historic District Commission reserving the power to specify a least obtrusive design approach that would enable subsequent restoration of the essential form and integrity of the structure upon removal of the alteration or addition.

Standards for New Construction

(Please see separate guidelines on page 15)

Standards for Land Use

1. Every reasonable effort shall be made to allow applicants to use their property as may be permitted under the zoning and other laws, statutes, and ordinances, when such use will require minimal alteration of the building, structure, or site and its environment.
2. The use of a property for its original or historically documentable intended use shall be given preferred consideration.

Enforcement

Applicants are cautioned that the Historic District Commission shall monitor the several historic districts and shall note all unauthorized work or work being performed to unauthorized design concepts or work being performed in an otherwise unacceptable manner. All such situations shall be immediately reported to the Building Inspections Department for the issuance of a stop work order. It is within the contemplation of these standards, and the underlying Ordinances of the City of Muskegon, that all such unapproved works may be required to be removed.

As a further cautionary statement, all changes in exterior architectural appearance of a property, whether requiring a building permit or not, are subject to review and approval by the Historic District Commission.

CITY OF MUSKEGON
HISTORIC DISTRICT COMMISSION
SIGNAGE POLICY

Adopted October 2, 1986 with revisions

Purpose & Intent

A. It is recognized by the Historic District Commission that signs in general perform certain functions in the community which are essential for the public safety and general welfare, such as communicating messages, providing information about the availability of goods and services, and providing orientation. It is further recognized by the Historic District Commission that because of their potential detrimental impact on the historic and architectural character of the structures and surroundings within the City's designated historic districts, exterior signs must be regulated in order to:

1. Prevent conditions which have a blighting influence and contribute to the loss of character and declining property values within the historic districts.
2. Safeguard the heritage of the City by preserving and protecting historic district environments which include elements reflective of its cultural, social, economic, political, and architectural history.
3. Preserve the historic quality and architectural content of the historic districts by curbing deterioration and otherwise unsuitable additions, removals, or alterations to the properties within them.
4. Permit compatible signs for use within historic districts which would provide for easy recognition, legibility, and comply with other acceptable conditions.

It is the intent of this policy by the Historic District Commission to protect property values, preserve and enhance the architectural features of the City's historic structures, promote a more enjoyable and visually pleasing historic environment and encourage the most appropriate use and type of exterior signs for location within the historic districts.

The establishment of the sign standards, design criteria and other regulations and requirements of this policy as the basis for acceptance or denial of a sign by the Historic District Commission ensures that all signs will be reviewed in an objective manner, thereby protecting the right of property owners from any potentially arbitrary or capricious decisions of the Commission.

Definitions

A. Sign: The use of any letters, numerals, pictorial representations, devices, designs or trademarks which constitute a name, identification, description, display, or illustration which is affixed or applied to or represented directly or indirectly upon a building structure or historic district property which attention to an object, product, activity, person, institution, organization, or business.

B. Sign Types: The Historic District Commission shall review for approval the installation or alternation of any sign type as indicated below:

1. Flat wall signs. Any sign that is painted directly on a building surface or painted on a separate background material and applied to the facade as a unit.

2. Dimensional surface signs. Any sign that consists in whole or in part, of three-dimensional letter forms applied directly to the building surface or applied to a separate flat background which is attached parallel to the building surface.

3. Free-standing signs. Signs supported by upright braces, frames, poles, or other similar structures, independent of any building.

4. Ground signs. Any free standing sign located on or close to the ground, the top of which does not extend more than four feet above the ground.

5. Projecting or pole signs. Any sign that has a face that is other than parallel to the exterior facade of the building. A sign which is attached to a pole or other structure and extends above or projects out there from.

6. Window signs. Any sign that is applied directly to the inside or outside surface of a window glass or exists as opaque, translucent or transparent panels which are suspended or supported by other means inside the window and parallel to its surface, which are intended to be seen from the exterior.

7. Awning & canopy signs. Any symbol or message which is attached to or is an integral part of any awning (fixed or retractable) or canopy is considered a sign.

8. Banners. Any banner hung either with or without frames that contains a message, symbol, or which is simply a decorative addition is considered a sign.

9. Directional signs. A sign directing and guiding vehicular or pedestrian traffic or parking but bearing no advertising matter.

C. Sign Area: The area within the smallest circle or rectangle that encloses the extreme limits of the advertising message, including any frame, background, or trim. Two faces which are back- to-back are counted only once.

D. Signage Wall Area: The area of a wall that is a continuous portion of a building unbroken by columns, ridges, doors, or windows. It is calculated by selecting a continuous facade, then drawing an imaginary rectangle within specified height limitations and computing the square-foot area of this rectangle.

E. Sign Face: The surface of a sign board or background area on which a message is displayed.

Review Requirements

A. Policy Statement

As established by Chapter 38 of the Code of Ordinances of the City of Muskegon, the Historic District Commission is empowered with the authority to review and approve plans for Building Permit applications for exterior work to construct, alter, repair, move or demolish any structure in a historic district. As described by City Building Code, a sign is a structure and, therefore, installation of such structure requires the filing of a Building Permit which must be subjected to Historic District Commission approval.

B. Historic District Commission (HDC)

The Historic District Commission will hold meetings on the first Tuesday of every month (unless otherwise publicly notified) for review of Building Permits, including any sign applications. If approved, a “Certificate of Appropriateness” will be issued by the Commission for all appropriate signs.

C. Review Requirements

To effectively determine the appropriateness of any sign for use within the City’s historic districts, the Historic District Commission shall require that the following permits, plans, drawings and/or other details be provided, prior to the fabrication and installation of such sign, and prior to the Commission’s meeting for approval.

1. Building Permit: A Building Permit Application must be filed for installation of all new exterior signs and alteration of any existing signs.

2. Site Plan: drawn to scale with measurements indicating proposed location and position of the sign in relation to building(s) on site, lot lines, sidewalks, drives, streets, and any other proposed or permanently existing structures or objects.

3. Elevation drawing(s): drawn to scale with measurements depicting complete sign dimensions, including minimum and maximum heights, distances from other structures (if appropriate), method of installation, supporting members, and any other features which might be visible.

4. Wall signs: For signs attached to a building wall, drawings shall indicate wall surface dimensions and any outstanding building lines or architectural details which may exist, including

complete sign dimensions, method of attachment and size of protrusion.

5. ALL PLANS/DRAWINGS: shall indicate types of installation materials to be used, colors of sign display and other components, letter styles and sizes, method of installation (anchoring) and any other elements which may affect the sign's exterior appearance.

6. Material samples: provide material samples and/or other catalog information when possible.

7. Photographs: provide current photos of the proposed site and/or building surface where the sign(s) will be installed.

8. Examples and HDC assistance: The HDC will provide additional information and samples of acceptable drawings upon request.

Standards & Design Criteria

General Conditions: All signs shall comply with the regulations for erection and construction of structures as contained within the City's Building Code of Ordinances and shall comply with existing zoning requirements as established within the City's Code of Zoning Ordinances.

The following Standards and Design Criteria shall be used in whole or part by the Historic District Commission in its determination of appropriateness of a particular type of sign for a specific property, including size, design features, fabrication and methods, intended positioning and on-site location, and all other elements affecting a sign's physical appearance:

A. Letters

1. Style. Uniform lettering style shall be used throughout the sign to avoid incoherence and otherwise incompatible letter form combinations which may be determined as inappropriate by the Historic District Commission. The use of serified (footed) letter styles is preferred for certain historical buildings; however, Gothic letter forms (those without serifs) and script letter forms may be acceptable to the Historic District Commission dependent upon the style and period of architecture represented by the building involved.

2. Size. "Letters should be subordinate to the background area". The maximum allowable height of capital letter forms shall not exceed two-thirds the height of the background area on which it appears (the background area is, in turn governed by the sign size and location restrictions which follow) or shall be reduced to the size declared appropriate by the Historic District Commission, dependent upon the actual signable wall area or sign size, location and viewing distance.

B. Fabrication Materials

The following materials, when properly used to compliment the architectural features and character of a historic building, are considered compatible for use in whole or part within the historic districts, provided the conditions as described are adhered to:

1. Wood - Any wood utilized shall be painted, stained, varnished or lacquered, carved or routed, or be negative cutout (letter forms described by voids in continuous background) or positive cutouts (individual dimensional letters).

2. Metal - Any metal shall be painted or varnished engraved mechanically or chemically etched. Bright chromium effect is not acceptable. Individually cast or cutout letters applied to building surface or separate background of wood would be acceptable.

3. Glass - Glass may be stained, leaded, painted, silk screen printed, etched, gold leafed, or any combination of the foregoing. Neon signs are not appropriate for use on historic buildings and, therefore, are considered unacceptable by the Historic District Commission.

4. Masonry - Masonry shall be carved stone or brick, molded concrete or terra cotta, provided such material would appear to be an authentic architectural addition to the facade of the building, as determined by the Historic District Commission.

5. Plastic or Fiberglass - The use of custom thin-gauge, die-cut vinyl letters which give the effect of a painted or silk screen imprinted letter is permitted. Any other use of plastic or fiberglass or the use of molded surface plastics or corrugated fiberglass sheeting is prohibited except in those cases where the surface finish closely duplicates the effect of a painted surface, as determined by the Historic District Commission.

6. Fabric - The use of bright, glossy, or leatherette finished vinyls is prohibited. All banner fabric must be durable and designed for outdoor use and maintained to prevent fraying, disintegration, and other unsightly appearances. Paper signs for window displays are prohibited for permanent use.

C. Illumination: Certain lighted signs are permitted for use with the historic districts, provided that they shall be illuminated by a reflected light from an exterior source which may be incandescent or fluorescent and that the light source is non-exposed and shielded from view.

1. Intensity of light. All lighting devices shall employ lights of constant intensity. No sign shall be illuminated by flashing, intermittent, rotating or moving lights or lights creating the illusion of movement or in such a manner as to affect adversely the use and enjoyment of the neighboring historic district properties – as determined by the Historic District Commission.

D. Sign Message - Content: All signs shall display only the formal name of the business or operation conducted on the premises. A brief secondary identification describing the nature of the business/operation and street numbers is also permitted. Where buildings are occupied by professional offices, the listing of occupants is permitted, provided the sign complies with all provisions established within this policy.

There shall be no labeling, graphics or commercial advertising on any part of any sign that the Historic District Commission determines to be inappropriate, whereas it will adversely affect the

use and enjoyment of neighboring historic district properties.

E. Number of Signs: The maximum allowable number of business identification signs per street frontage per establishment shall be limited to one (1). Whereas additional directory or directional signs which point out parking lots and other specific services are requested, the Historic District Commission shall determine the appropriateness and building/site compatibility of such exceptions.

F. Shape and Form: The physical form of a sign shall be proportioned in massiveness and scale to the building for which it is meant. All shapes shall be simple (square, rectangle...) and relate directly to the architectural features of the immediate and surrounding historic structures.

G. Location and Size: Sign use, sign type and location may be dictated by established district zoning ordinances. Whether those ordinance requirements are established or nonexistent, the following standards shall apply and prevail for all signs used within the City's designated historic districts.

1. General:

a. No sign may be erected upon or within any dedicated public easement or right-of-way without the expressed permission of the Muskegon City Commission.

b. No sign shall be placed so as to conceal, disfigure, or otherwise violate any architectural features of a building.

c. Sign size shall be visually compatible with the scale of the building for which it is meant. No sign shall be located in such a manner or position as to affect adversely the use and enjoyment of neighboring historic district properties.

2. Flat wall signs. No flat wall sign shall exceed twenty (20) percent of the signable wall area to which it will be attached, and shall not exceed twenty four (24) square feet in sign face area. No flat wall sign shall exist above a point fifteen (15) feet from the sidewalk level or one (1) inch below the second story window sill, whichever is lower.

3. Dimensional surface signs. No such sign shall exceed the above limits of a flat wall sign or extend above the building roof line, and shall not protrude from the primary building facade surface more than eight (8) inches.

4. Free standing signs. When used as business identification, these shall not exceed twenty (20) square feet per sign face. Such signs shall not exceed fifteen (15) feet in height from ground level or exist above the roof line of the building for which it is meant. The Historic District Commission may require a size and height less than these limits, including a specific location, in order to ensure consistency with the objectives and standards as established within this policy.

Directional signs, when permitted by the Historic District Commission, shall not exceed four (4) square feet in sign face area and shall not be higher than four (4) feet from ground level.

5. Ground signs. These shall not exceed twenty (20) square feet per sign face. No such sign shall exceed four (4) feet in height from ground level. To maintain consistency with the objectives and standards of this Policy, the Historic District Commission may require a smaller sign face and specific location.

For directional sign size and height limitations, use the same as above under No. 4.

6. Projecting or pole signs. These shall not exceed nine (9) square feet in area per sign face nor shall they extend below a point eight (8) feet from the sidewalk surface or out from the building facade surface more than four (4) feet. The top edge of such sign may not exist higher than a point fifteen (15) feet above the sidewalk surface or one (1) inch below the second-story window sill, whichever is lower.

7. Window signs. These may be applied directly to the glass and shall exist as message lettering only. Such a window sign message may not obscure more than twenty (20) percent of the area of the window surface to which it is applied.

8. Awning & canopy signs. These must comply with all provisions established within this Policy. The size, location, and height of awning and canopy structures are predetermined by existing City Ordinance.

9. Banners shall not exceed twenty-four (24) square feet in area or extend below a point eight (8) feet from the sidewalk surface or out from the facade surface more than four (4) feet. The top edge of such banner may not exist higher than a point fifteen (15) feet above the sidewalk surface or one (1) inch below the second-story window sill, whichever is lower.

Banners, when permitted, are on an interim basis only and shall be annually reviewed by the Historic District Commission to ensure their sightly appearance.

Special Provisions

A. Signs exempted from Historic District Commission Review

1. Signs required by Federal, State, or other local ordinance for purposes of traffic, public safety, and other directional assistance.
2. Special event signs: which will exist for a single period of not more than seven (7) days in any quarter calendar year and are not prohibited under any provision of this policy.
3. Signs not visible off the lot upon which they are situated.
4. Commemorative plaques not exceeding one (1) square foot in area.
5. Address signs: indicating street address and not exceeding one (1) square foot in area.

6. Temporary signs: any sign relating to construction, real estate, political elections which are not in violation of any provision of this policy.

7. Flags: National, State, or municipal flags with messages or symbols representing institutions or businesses.

B. Prohibited signs. It shall be unlawful to erect, install, place, or maintain any of the following:

1. Portable signs: Any sign that is readily moveable from one location to another and is not permanently affixed to a building or the ground.

2. Roof signs: Any sign which projects above or beyond the roof or parapet.

3. Signs which move or create the illusion of movement. Signs which flash or make noise.

4. Signs attached to any natural growth (i.e. trees or other natural foliage).

5. Signs which are obsolete, that do not relate to existing business.

6. Signs which are not expressly permitted by this policy or which violate any provision thereof.

C. Alteration to Existing Signs. Any sign that exists on the effective date of this policy or amendment thereof, which is nonconforming and does not at that time comply with all of the provisions hereof, including any amendment, shall not be changed, altered, or rebuilt in any manner described as follows, without prior review and written approval of the Historic District Commission. These signs shall not:

1. Be changed to another type of sign which is not in compliance with the policy; or

2. Have any changes made in the words or symbols used or message displayed on the sign (unless the sign is designed for periodic change of message); or

3. Be structurally altered so as to prolong the life of the sign or so to change the shape, size, type or design of the sign.

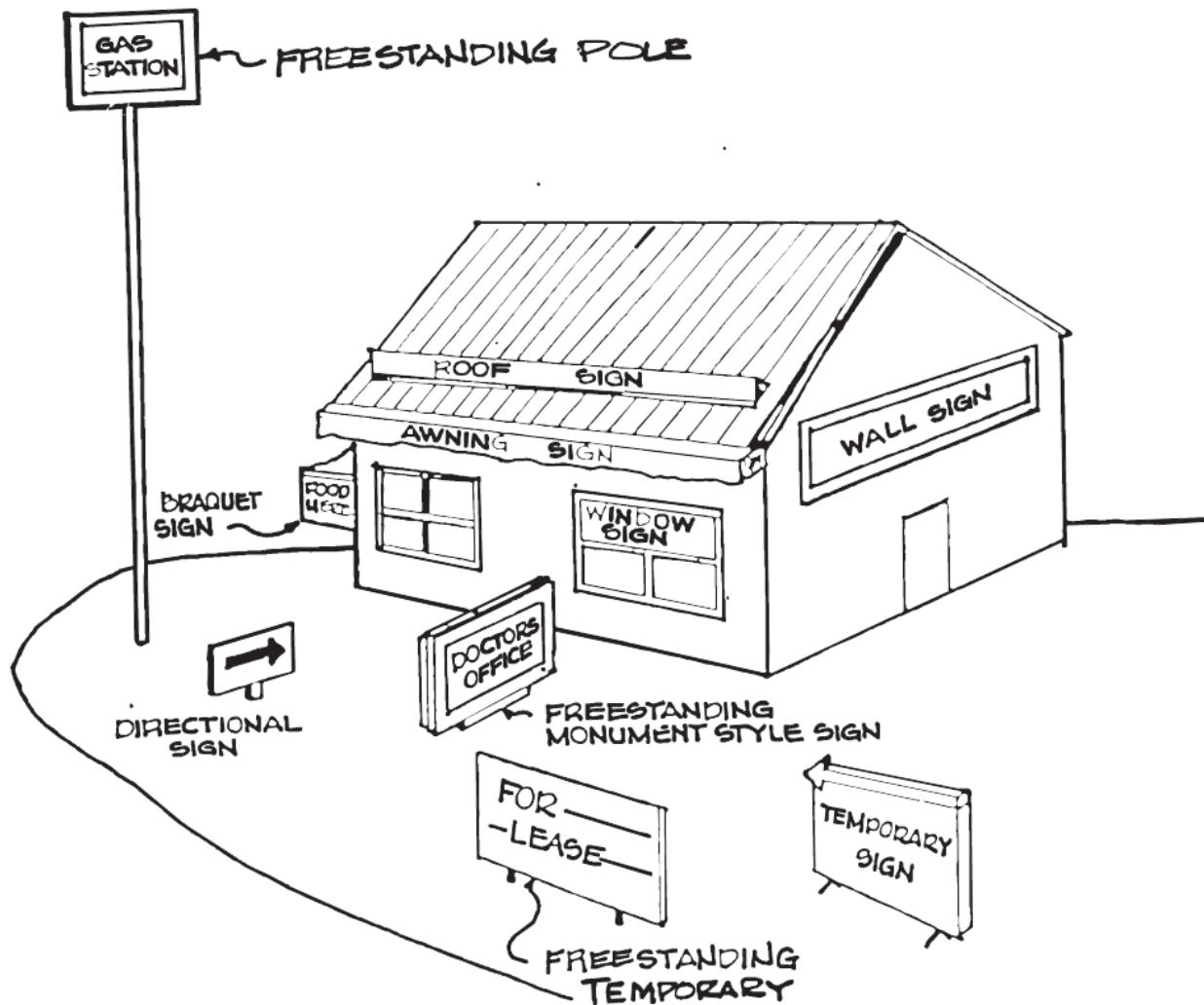
Maintenance & Enforcement

A. Maintenance: All signs approved for installation by the Historic District Commission shall be maintained in a safe, presentable manner and shall remain in good structural and/or material condition at all times, including the replacement of defective or damaged parts, painting, repainting, cleaning, and other acts necessary for maintenance of such signs.

B. Inspection/Removal: The Building Inspections Department and its authorized representatives shall inspect and have the authority to order painting, repairs, or removal of any sign installed upon or after the adoption date of this policy, if it fails to comply with the conditions established under

this policy.

C. Penalties: Violation of any provision of this policy in any particular or the failure to comply with any of the regulatory measures or conditions adopted by the Historic District Commission pursuant to its approval of a specific Building Permit and/or plans can result in issuance of a civil infraction notice which carries penalties ranging from \$100 for the first offense to \$500 for the third and all subsequent offenses. Each day such violation continues shall be deemed a separate offense.



CITY OF MUSKEGON
HISTORIC DISTRICT COMMISSION
HISTORIC DISTRICT DESIGN GUIDELINES
FOR NEW CONSTRUCTION

(Adopted December 4, 1990)

Although a significant amount of the Commission's work is centered on historic structures, the construction of new structures on vacant lots within historic districts is permitted and encouraged. However, those professionals designing new structures should strive for excellence in design whether small individual infill construction within the existing historic district blocks, or larger independently sited projects. New structures should be in keeping with the existing historical character of the neighborhood or district with a design that is compatible with the size, scale, material, and color of the surrounding buildings and landscaping. Good design which responds positively to its surroundings can be done in several different ways; therefore, it is impossible to develop specific interpretations which will apply in all cases. Every site has its own design opportunities.

The following design recommendations shall be used by the Historic District Commission in evaluating requests for new construction within the districts. These basic criteria should be a part of any proposed design brought before the Commission for approval.

Recommended

Height - Relating the overall height of new construction to that of adjacent structures. As a general rule, construct new buildings to a height roughly equal to the average height of existing buildings from the historic period on and across the street.

Scale - Relating the size and proportions of new structures to the scale of adjacent buildings. Although a building may be much larger than its neighbors in terms of square footage, it should maintain the same scale and rhythm as the existing buildings.

Massing - Breaking up uninteresting box-like forms into smaller, varied masses such as are common on most buildings from the historic period. Variety of form and massing are elements essential to the character of the streetscape in historic districts. For example, if an infill site is large, the mass of the facade can be broken into a number of small bays.

Directional Expression - Relating the vertical, horizontal, or non-directional facade character of new buildings to the predominant directional expression of nearby buildings. Horizontal buildings can be made to relate to the more vertical adjacent structures by breaking the facade into smaller masses that conform to the primary expression of the streetscape.

Setback - Maintaining the historic facade lines of streetscape by locating front walls of new buildings in the same plane as the facades of adjacent buildings. If exceptions are made, buildings should be set back into the lot rather than closer to the street than neighboring, existing buildings. If existing setbacks vary, new buildings should conform to historic siting patterns.

Not Recommended

Height - Introducing new construction that varies greatly in height (too high or too low) from older buildings in the vicinity. Extreme differences in building heights will have a detrimental visual effects on the appearance of surrounding property.

Scale - Creating buildings that in height, width, or massing violate the existing scale of the area. The new building should not disrupt the scale and rhythm of the streetscape, although it might be appropriate in a different location.

Massing - Introducing single, monolithic forms that are not relieved by variations in massing. Box-like facades and forms are intrusive when placed in a streetscape of older buildings that have varied massing and facade articulation.

Directional Expression - Creating strongly horizontal or vertical facade expressions unless compatible with the character of structures in the immediate area. A new building that does not relate well to its neighbors or to the rhythm of the streetscape because of an unbroken horizontal facade should be avoided.

Setback - Violating the existing setback pattern by placing a new building in front of or behind the historic facade line. Placing buildings at odd angles to the street, unless in an area where diverse siting already exists, even if property setback is maintained, should be avoided.

Sense of Entry - Articulating the main entrances to the building with covered porches, porticos, and other pronounced architectural forms. Entries were historically a prominent visual feature of the street elevation of the building and often raised a few steps above the grade of the property.

Roof Shapes - Relating the roof forms of the new buildings to those found in the area. Although not entirely necessary, duplication of the existing or traditional roof shapes, pitches, and materials on new construction is one way of making new structures more visually compatible.

Rhythm of Openings - Respecting the recurrent alteration of wall areas with door and window elements in the facade. Also considering the width-to-height ratio of bays in the facade. The placement of openings with respect to the facade's overall composition, symmetry or balanced symmetry should be carefully studied.

Design Expression - Composing the materials, textures and colors of the new building facade to compliment adjacent facades and relating details and decorations of the new building to those of existing surrounding buildings.

Imitations - Accurate restoration of or visually compatible additions to existing buildings and former construction, contemporary architecture that well represents our own time yet, enhances the nature and character of the historic district.

Sense of Entry - Introducing facades with no strong sense of entry. Side entries or entries not defined by a porch or similar transitional element result in an incompatible "flat" first-floor façade.

Roof Shapes - Introducing roof shapes, pitches, or materials not traditionally used in the area.

Rhythm of Openings - Introducing incompatible facade patterns that upset the rhythm of openings established in surrounding structures. For example, glass walls and window and door shapes and locations which are disrespectful to the adjoining buildings.

Design Expression - Violating the existing character of the district by introducing non-compatible materials, textures, colors, details, and decoration on new buildings.

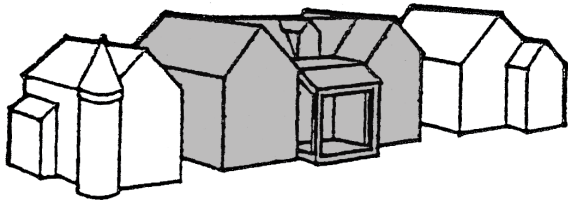
Imitations - Replicating or imitating the styles, motif, or details of older periods. Such attempts detract from the character of the district by compromising what is truly historic.

Recommended

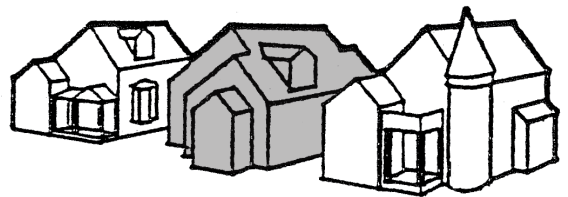
Height



Scale



Massing

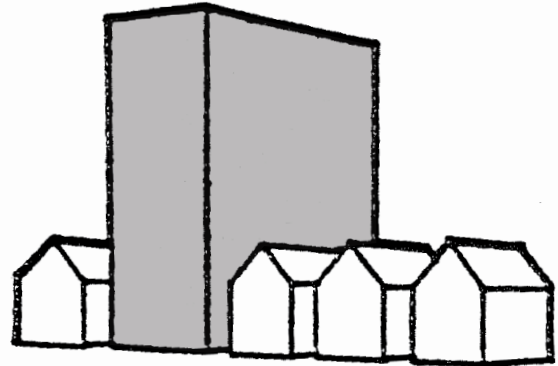


Directional Expression

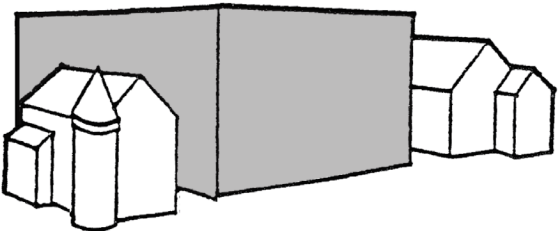


Not Recommended

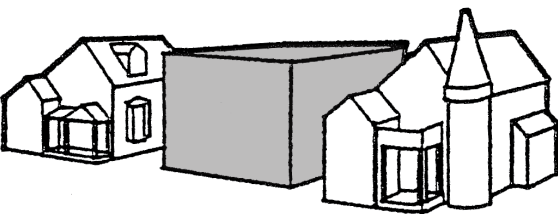
Height



Scale



Massing

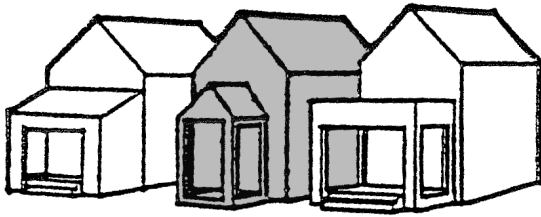


Directional Expression

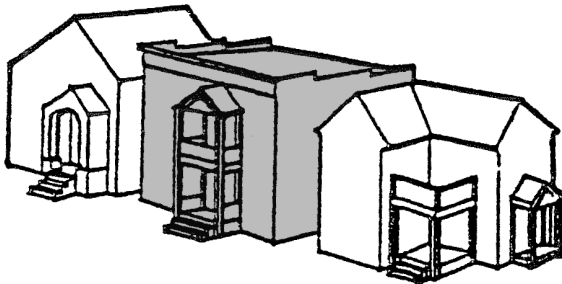


Recommended

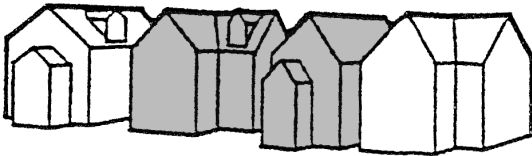
Setback



Sense of Entry



Roof Shapes



Rhythm of Openings

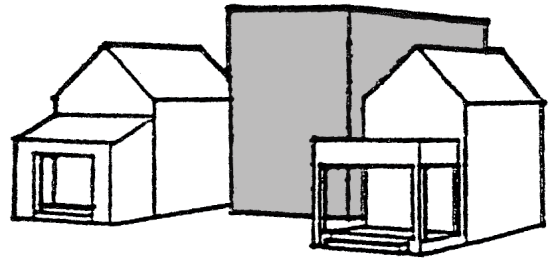


Imitations

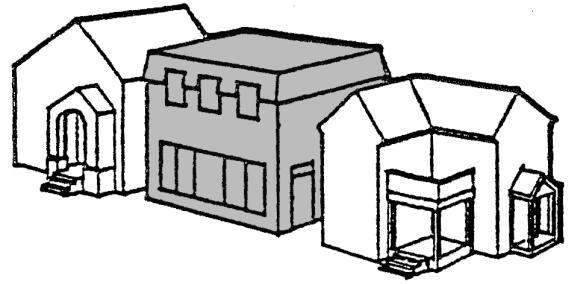


Not Recommended

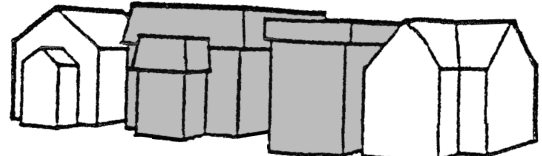
Setback



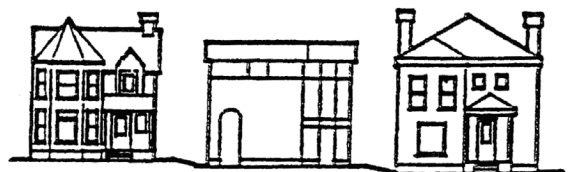
Sense of Entry



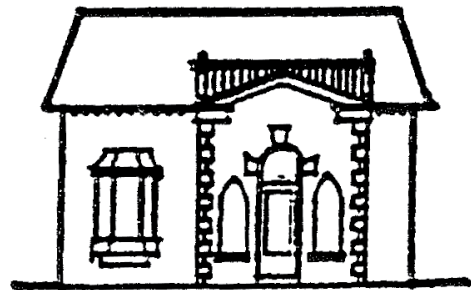
Roof Shapes



Rhythm of Openings



Imitations



CITY OF MUSKEGON
HISTORIC DISTRICT COMMISSION
ROOFING GUIDELINES

(Adopted December 6, 1994 - Effective January 1, 1995)

The design of all roofing materials used on sloped roofs and structures within the historic districts shall maintain the appearance of the original roofing materials and be appropriate to the style and period of the structure. Materials shall be selected and installed in accordance with the guidelines as follows:

Installation shall follow existing building codes and manufacturer's recommendations.

Metal Drip/Rake Edge Starter shall be of a color to match the existing fascia, trim, or the new roof material.

Wood Shingles shall be square or edged (diamond, fishscale, hexagonal) with approximately 5" to 6" exposed to the weather. If wood shingles are to be used, it is recommended that they be chemically treated for fire resistance in accordance with Underwriters Laboratory requirements for a fire rated roof. Wide exposure wood shakes are not acceptable.

Tile Roofing shall be either clay or cement tiles in patterns and colors appropriate to the period. Appropriate patterns include French, Gothic, Norman, Williamsburg, Georgian Colonial, Slate design, or Flat shingle tile. Interlocking tiles may be used so long as they are of traditional designs or colors. Spanish or Barrel Mission tile may be used only if the original roof material was similar or upon special approval of the Historic District Commission.

Slate Roofing shall be acceptable.

Metal Roofing for flat or low pitched decks or standing rib metal on sloping roofs, where terne, copper, or other metal roofing has been used previously, shall be acceptable. Stamped metal roofing where the stamped pattern resembles the original roofing material shall be acceptable. Standing-seam metal roofing where not originally installed is not generally permissible.

Rolled Asphalt Roofing, built-up roofing, or single ply roofing may be used where required by roof pitch of 3 in 12 or less or where previously installed.

Asphalt Shingles shall be square butt, strip type, architectural shingles with approximately 5" exposed to the weather. French method hexagonal asphalt shingles may be used if they were used on the original roof. If used, they must match the color of original French Method Asbestos. Generally, T-Lock or other irregular lock type designs are not in keeping with the architectural character of the homes and will not be approved for use in the historic districts.

In most instances, it is preferred that new roofing be the same type and style as was originally installed. However, as a practical matter, asphalt shingles which closely resemble the color and design of the traditional roofing materials may be accepted.

CITY OF MUSKEGON
HISTORIC DISTRICT COMMISSION
RESIDING AND TRIM CLADDING GUIDELINES

(Adopted December 6, 1994 - Effective January 1, 1995)

General

The Muskegon Historic District Commission does not endorse the residing of structures within the Historic Districts. It is the policy of this Commission that the original fabric of the building should be repaired or replaced where necessary with the original building material.

In cases where the repair or replacement with like materials is impractical or where it can be demonstrated that the original materials will no longer hold paint or that the original materials are so badly deteriorated that they can no longer be reasonably repaired, the residing standards below shall strictly be adhered to.

Definitions

For the purpose of this statement, the terms “residing materials” and “trim cladding” shall be understood to encompass the use of any residing materials such as aluminum, vinyl, steel, hardboard, wood, masonry, or molded urethane which is designed to replace or cover all, or any part, of an exterior wall, trim work or other building element or a structure within a designated historic district.

Purpose

The Commission shall review all Applications for Certificates of Appropriateness proposing the installation of residing materials or trim cladding as individual cases. Each application shall be decided on its own merit. No person should interpret any Commission approval for residing or trim cladding as being precedent setting. Unrestricted use of residing materials or trim cladding will not be allowed.

In any case where residing materials or trim cladding are proposed for use by a property owner or siding contractor, the property owner shall be required to submit a signed letter stating in detail the intent and scope of the proposed residing or trim cladding installation. Such a letter is to also include the identification of any deterioration or problems occurring relative to the existing siding or exterior building fabric. If known, the cause and extent of this deterioration must be clearly stated.

The following conditions of installation shall be met by all proposals for residing or trim cladding:

1. All existing deterioration shall be made structurally sound and its causes, insofar as possible, shall be corrected prior to the installation of residing materials or trim cladding.

2. Any installation of residing materials shall simulate the appearance of the original building material that it is intended to cover. This simulation shall take into account the size, shape or profile, texture, and linear direction of the original building material.

a. The residing material shall be similar in appearance and dimension to the original siding. The exposure to the weather of the new siding shall range within one inch of the nominal dimension of the original siding. The Historic District Commission shall have the authority to waive this requirement in the event that they believe a different design or dimension siding would be more appropriate to the architectural character of the Historic District.

b. Generally, wood grain textures are not approved by the Commission. However, the appropriateness of a specific siding texture shall be determined on an individual case basis.

3. Any installation of trim cladding shall adhere to the following guidelines for the treatment for architectural trim elements.

a. Existing cornice or building trim elements shall not be covered or replaced without Commission approval. Commission approval will depend upon how closely the trim cladding or new trim elements duplicate the appearance of the existing building trim elements.

b. The wall siding material shall not extend over the existing trim members such as window and door trim, sills, facias, soffits, frieze members and boards, brackets, aprons, corner boards, trim boards, skirt boards, or any other characteristic moldings or architectural features (see attached illustration).

c. If the above mentioned trim members are to be clad, they shall be covered with custom formed cladding which shall closely approximate the shapes and contours of the existing moldings or trim. Distinctive or unusual trim or architectural elements shall not be clad without prior consideration and Commission approval.

d. No building trim elements or architectural features are to be removed or altered to facilitate the installation of the new siding or trim cladding without approval of the Historic District Commission.

e. In most cases the soffit cladding material shall run parallel and not perpendicular to the plane of the wall.

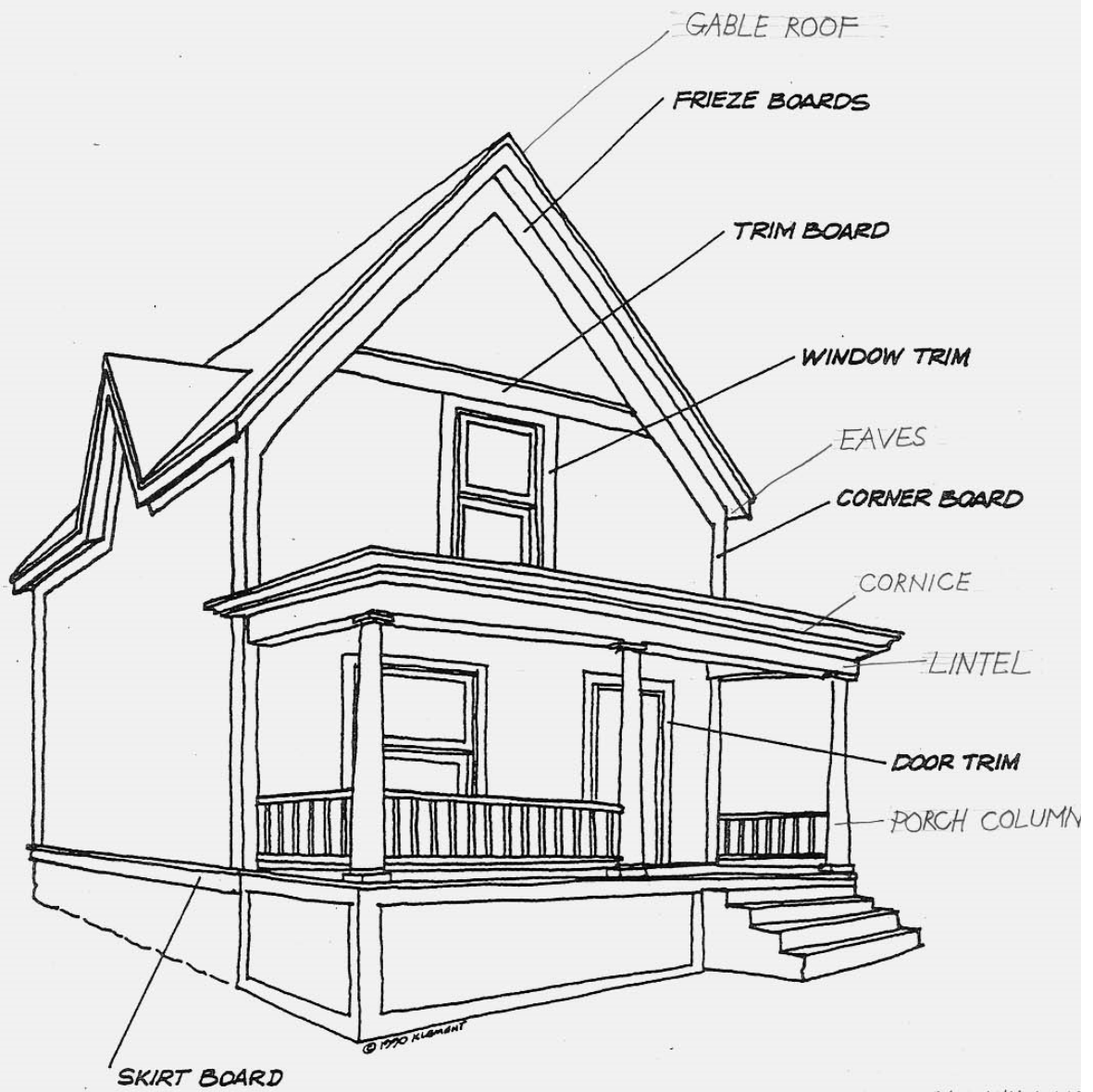


DIAGRAM COURTESY: CITY OF ANN ARBOR

CITY OF MUSKEGON
HISTORIC DISTRICT COMMISSION
FENCE STANDARDS AND GUIDELINES

(Adopted December 6, 1994 - Effective January 1, 1995)

General

Fences and gates are an extension of the architecture of a home. They should be compatible in style and material. They should be appropriate to the size and scale of the structure. They, therefore, require review and approval by the Historic District Commission.

Sometimes it is necessary to use fencing for other than decorative purposes, such as marking boundaries, privacy, screening unsightly areas, or security. Fencing for utilitarian purposes sometimes requires fencing materials which are not of the period or character of the house. Non-conforming fencing materials may be considered for use in the back of the structure.

Fence Guidelines

When building wood fencing, consideration should be given to the kind of wood best suited for the project, adequate post foundations, weatherproofing, color, and amount of maintenance required. Simple variations of wood picket-style fencing are appropriate to many period homes. Wood fences must be painted to complement or contrast the colors of the house. Pressure treated wood shall be painted no later than one year after installation.

Iron fencing is an appropriate option for Victorian-era homes. Iron fencing was often modest in proportion, seldom exceeding four feet in height. A popular standard was 36 inches.

Fencing materials such as split rails, stone, and brick may be considered if they reflect the feeling of the home in material and character.

Chain-link and similar utilitarian fencing, such as industrial fencing, wire mesh, and barbed wire, is not permitted in the front of a structure.

Hedges and natural fencing are possible alternatives to fences.

Fence Standards

LAYOUT REQUIREMENTS: (Please see the attached Supplementary Graphics sheets)

Conforming **open** fences not over four (4) feet and conforming **solid** fences not over three (3) feet in height are permitted between the property line and halfway between the front and rear setback lines.

Corner lots will be considered to have two front yards, except that non-conforming fences higher than four (4) feet will be permitted immediately behind the existing side setback line (rather than

halfway between the front and rear).

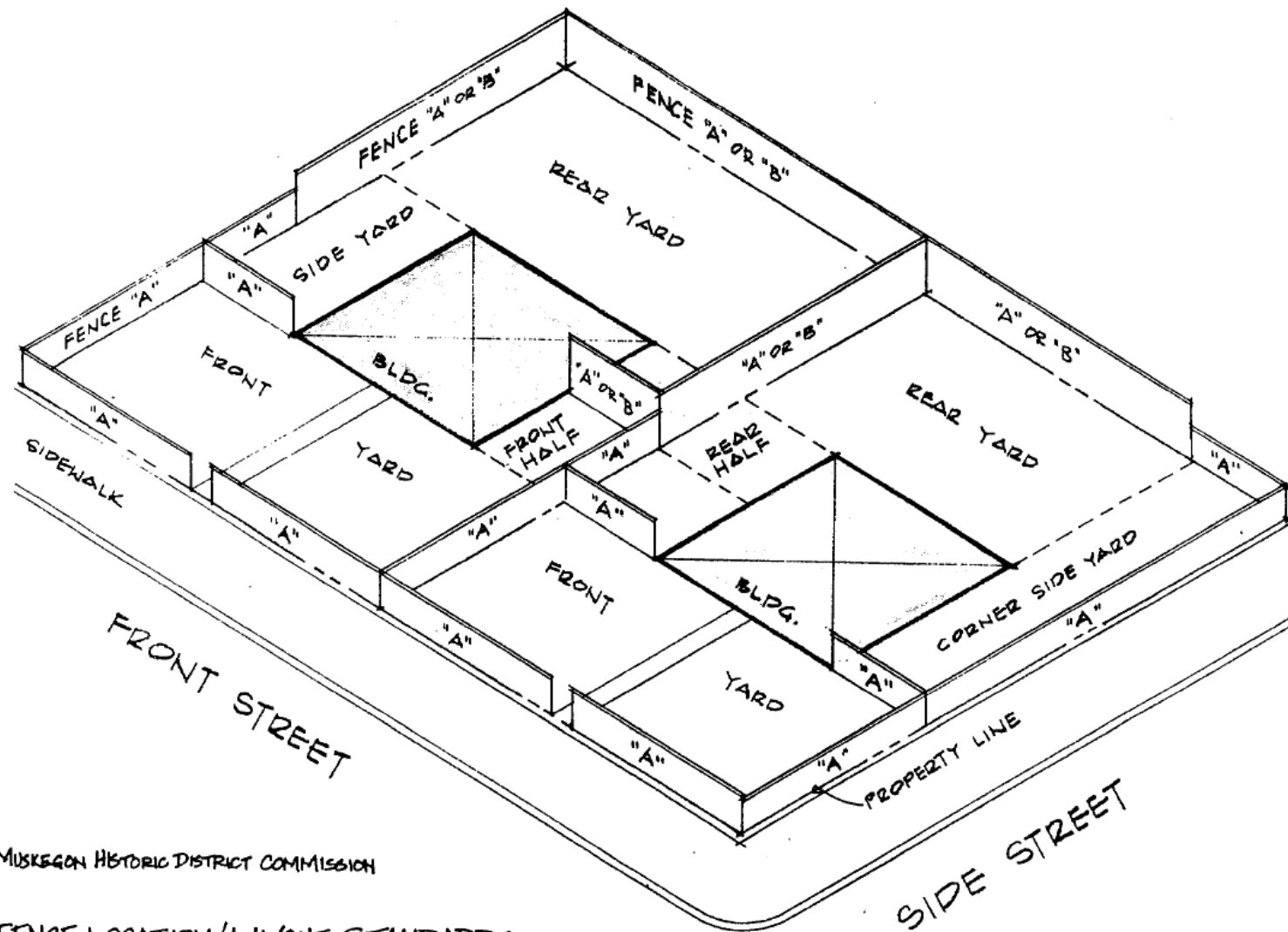
SUPPLEMENTARY GRAPHICS SHEETS:

These sheets are attached and include the following:

- Fence Location/Layout Standards

- “Type A” - Conforming Walls and Fences

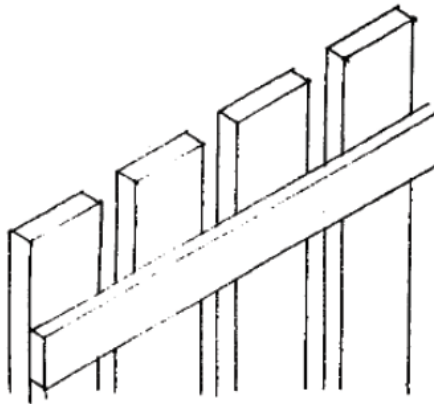
- “Type B” - Conforming Rear Lot Fences; Non-Conforming Fences



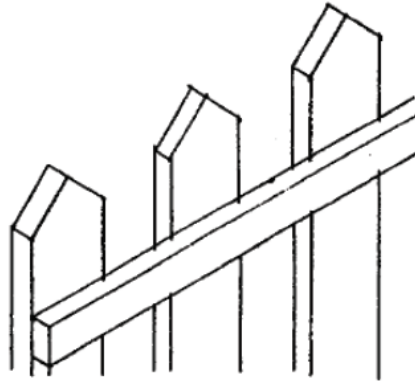
MUSKEGON HISTORIC DISTRICT COMMISSION

FENCE LOCATION/LAYOUT STANDARDS

ILLUSTRATION COURTESY CITY OF KALAMAZOO



BOARD FENCE



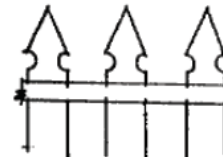
PICKET



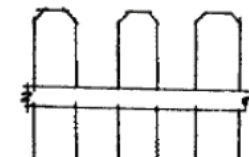
ROUND



DOG-EARED

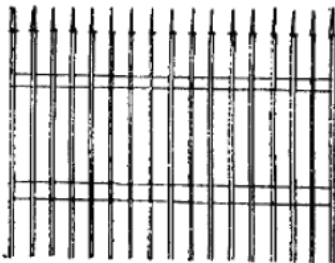


GOthic

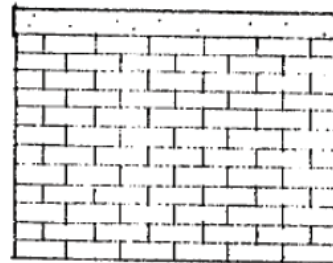


ALTERNATE TOPS

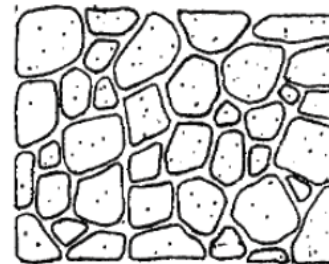
- MAXIMUM HEIGHT: 48"
- SPACE BETWEEN PICKETS MUST BE LESS THAN OR EQUAL TO PICKET WIDTH
- WOOD TREATED FOR CONTACT WITH THE GROUND IS RECOMMENDED
- POST HOLES SHOULD FILLED WITH COMPACTED GRAVEL, RATHER THAN CONCRETE
- OTHER VARIATIONS POSSIBLE
- MUST BE CONSTRUCTED WITH THE "GOOD SIDE" FACING OUT.



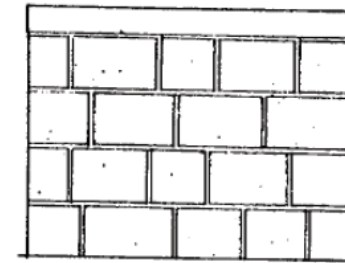
IRON OR BLACK ALUMINUM



BRICK

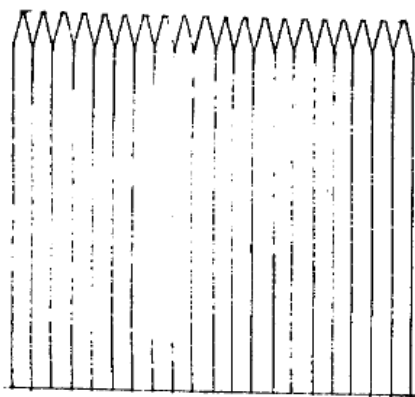


UNCUT FIELD STONE

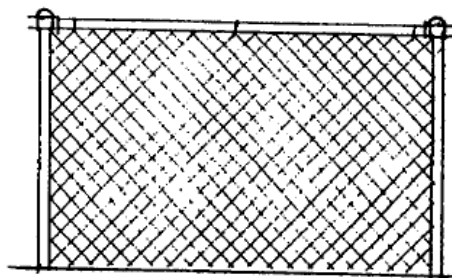


CUT STONE

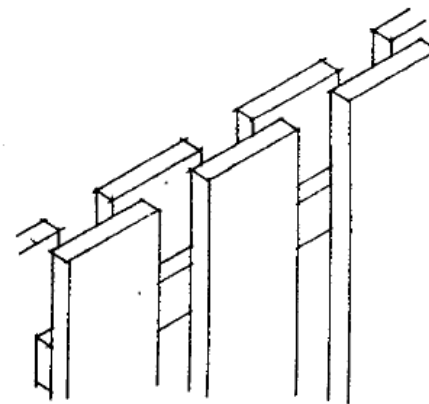
TYPE "A"
CONFORMING WALLS & FENCES



STOCKADE



CHAIN-LINK / CYCLONE

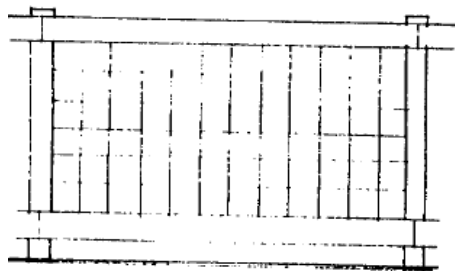


OBSCURING

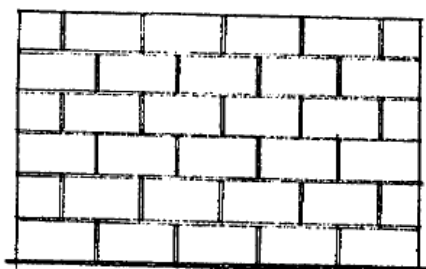
TYPE "B"

CONFORMING REAR LOT FENCES

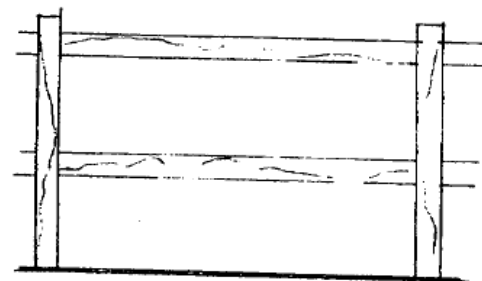
- ALTERNATE TOPS FOR STOCKADE FENCE PERMITTED
- UP TO 6'-0" HIGH



WIRE MESH



CONCRETE BLOCK



SPLIT RAIL

NON-CONFORMING FENCES

CONSTRUCTION MUST BE APPROVED BY
THE HISTORIC DISTRICT COMMISSION

GRAPHICS COURTESY CITY OF KALAMAZOO

CITY OF MUSKEGON
HISTORIC DISTRICT COMMISSION
PORCH AND DECK STANDARDS AND GUIDELINES

(Adopted December 6, 1994 - Effective January 1, 1995)

Covered Porches

Newly constructed covered porches shall be decked with tongue and groove decking and painted to complement or contrast the house (unless the construction involves the rebuilding of a missing original porch where documentable evidence shows a different method of decking). Ventilation under the porch deck is necessary to prevent excessive moisture from causing deterioration to the porch members. Therefore, the porch skirt shall be detailed in a similar manner to that shown on the attached decking detail illustration. In some cases, composite decking materials may be permitted for use on covered porches.

Freestanding or Attached Decks (Uncovered Porches)

Placement and design of all decks shall be approved by the Commission. Decks should be located in unobtrusive locations and shall feature one of the edge details featured on the attached decking detail illustration. Decking boards shall consist of 5/4" thick pressure treated decking or square-edged fir decking and appropriately finished. In some cases, composite decking materials may be permitted for use on uncovered porches.

Handrails and Guardrails

Existing original handrails and guardrails shall not be removed without the approval of the Commission. Deteriorated rails shall be repaired as a first course of action. When replacement is necessary, the original details shall be replicated. In cases where height or spacing is required to be modified to meet code requirements, the Commission will carefully review the options to determine the most appropriate method to accomplish this requirement. In cases where handrails or guardrails are new (including those for new decks), the design shall generally conform to the railing and balustrade detail illustrated on the attached sketches.

New guardrails in the historic districts shall conform to the minimum guardrail height in the most recent edition of the building code.

PORCH OR DECK FLOOR HEIGHT FROM FINISHED GROUND GRADE	MINIMUM GUARDRAIL HEIGHT
0" - 30"	0"
≥ 30"	36"

New guardrails on commercial buildings shall conform to the minimum guardrail height for commercial buildings as defined in the most recent edition of the building code.

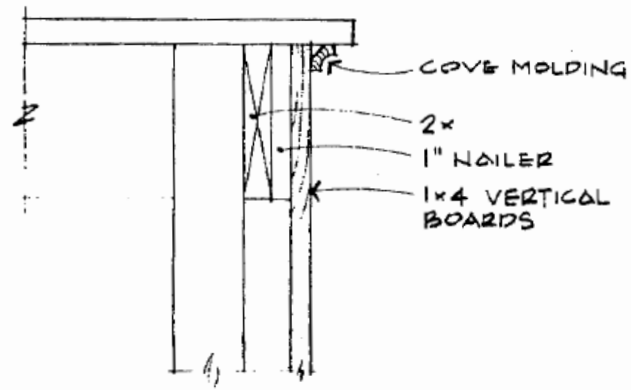
In all cases, if an original guardrail was higher than the minimum height as listed above, then the original height applies.

Porch Enclosure

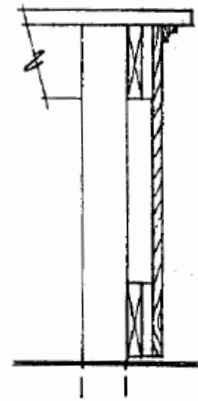
Existing screen or open porches shall not be enclosed with framing or windows without approval by the Commission. Generally, when an open or screened porch is enclosed, the enclosure materials or windows should preserve the appearance of a porch in order to maintain the original design and to avoid the visual effect of a boxed-in appendage. This can often be accomplished with full length windows and exterior screens which would extend from within a few inches off the floor or base of the existing porch opening thus maintaining the effect of a screened in porch or solarium. On most full length porches, building up a half-wall at the base and enclosing it with short windows would not be in keeping with the original design of the house and would detract from the overall appearance. Each request for a porch enclosure will be carefully analyzed by the Commission, taking into consideration the practical and intended usage of the area and the overall visual effect upon the house.

Paint

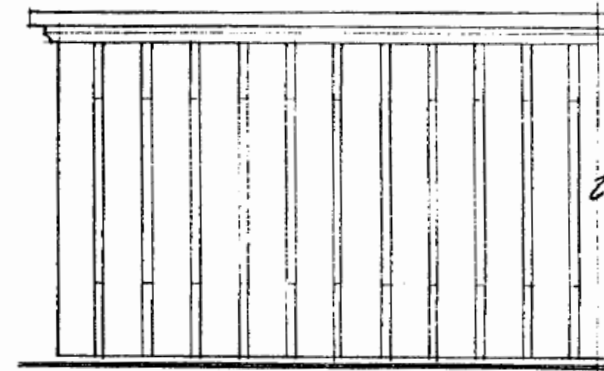
All exposed deck or porch wood shall be painted to complement or contrast the existing structure. Pressure treated wood shall be painted no later than one year after installation.



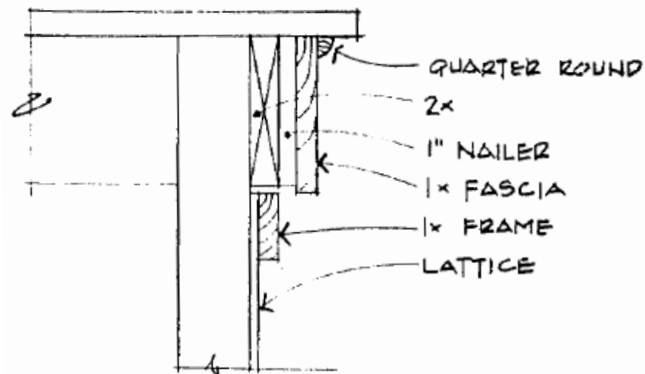
VERTICAL BOARDS



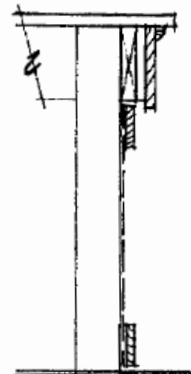
SECTION



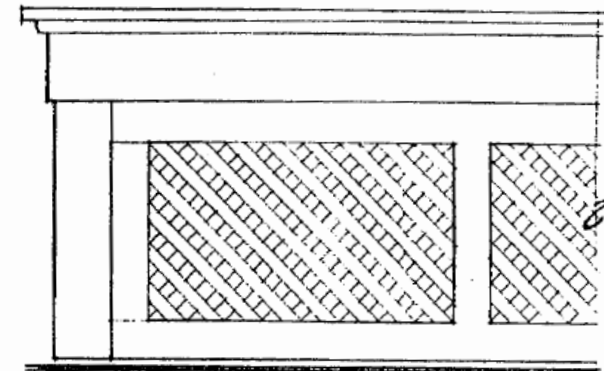
ELEVATION



LATTICE



SECTION

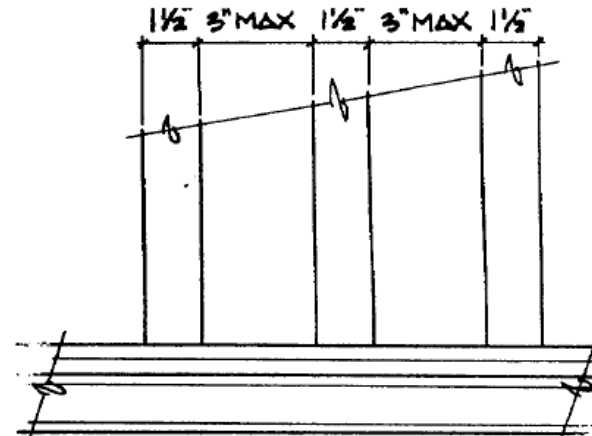
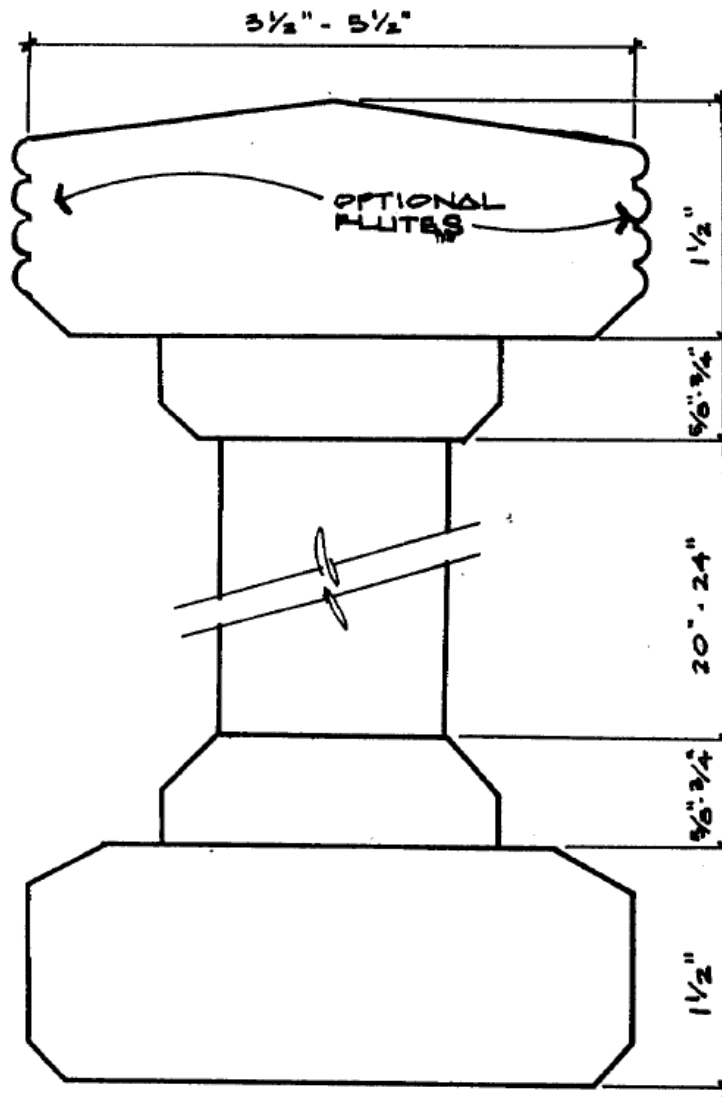


ELEVATION

DECKING DETAILS

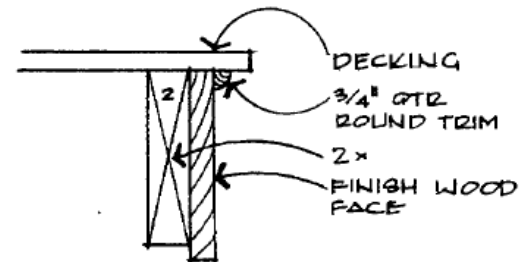
GRAPHICS COURTESY CITY OF KALAMAZOO

DETAIL OF SAMPLE BALLUSTRADE CONSTRUCTION

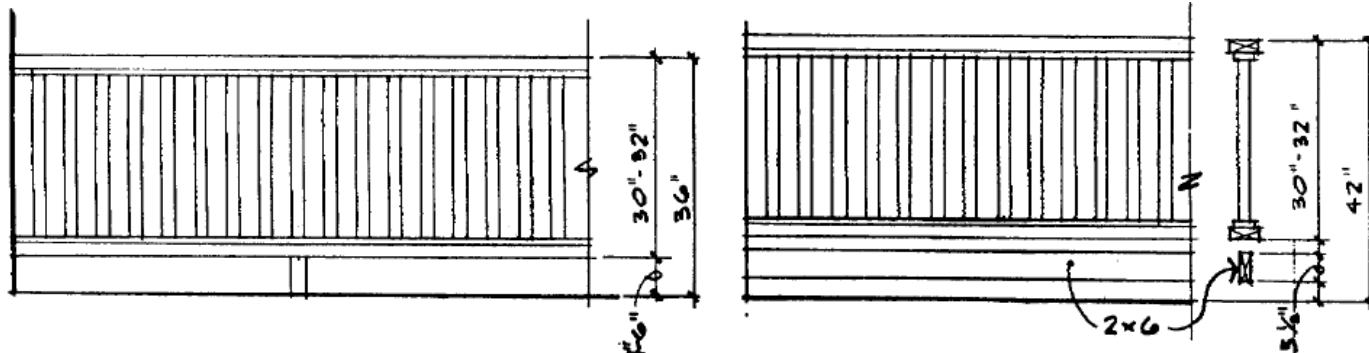


SPACING OF BALLUSTERS

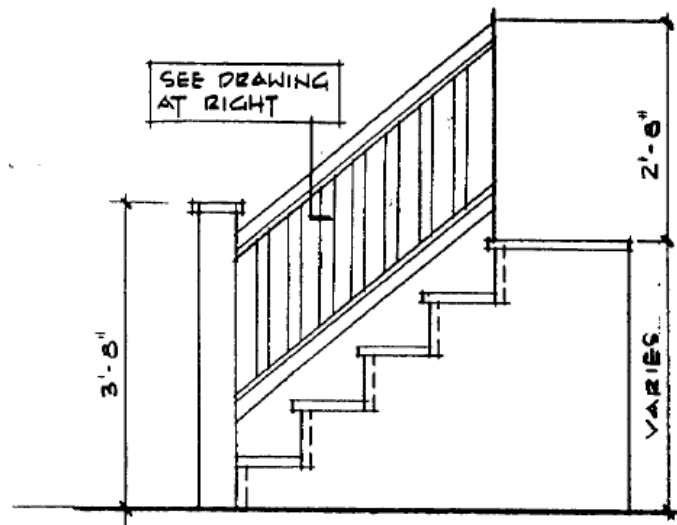
WIDTH \times 3 = CENTER-TO-CENTER SPACING



EDGE DETAIL



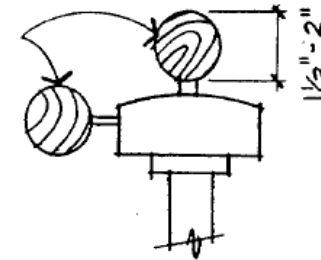
MINIMUM RAIL HEIGHT REQUIREMENTS ARE 24'-30' DEPENDING ON DECK HEIGHT FROM GROUND LEVEL
 IF A GREATER HEIGHT IS RECOMMENDED FOR SAFETY REASONS (WHERE THE RAIL IS NEW OR REBUILT),
 THE ABOVE CONSTRUCTION METHODS MAY BE ACCEPTABLE (PLEASE SEE ATTACHED TEXT FOR DETAILS)



"GRASPABLE" HANDRAIL
 (1 1/2'-2' CROSS
 SECTIONAL DIMENSION)

ROUNDED CORNERS

HANDRAIL CAP



SAMPLE RAILING DETAILS (NEW RAILS)

GRAPHICS COURTESY CITY OF KALAMAZOO

CITY OF MUSKEGON
HISTORIC DISTRICT COMMISSION
WINDOW, DOOR, AND EXTERIOR WOODWORK
STANDARDS AND GUIDELINES

(Adopted December 6, 1994 - Effective January 1, 1995)

General

These guidelines pertain only to proposed changes to the structure and do not affect existing construction.

These guidelines are primarily directed toward the front and side elevations of the structure. Greater variances and more leniency may be extended toward proposed changes to the rear elevation of the building by the Commission. All desired or proposed changes should be referred to the Historic District Commission for consideration. Extenuating circumstances, the effect upon the architecture of the particular structure together with the general effect upon the surrounding structures, variables in architectural design, or the effect upon usage and viability of the structure could dictate a variance from these guidelines.

No exterior doors, windows, or exterior woodwork shall be altered, removed, relocated, or added without Historic District Commission approval.

Existing exterior window or door casings, sills, and caps shall not be altered from the original design or appearance. Damaged or deteriorated wood shall be repaired as a first course of action. When repair is not possible, elements shall be replaced with matching wood members. Damaged or deteriorated wood elements may be replaced or covered with formed aluminum or vinyl, subject to Commission approval and provided that the original profile of the woodwork is not altered or changed.

Primary Windows

Existing damaged or deteriorating window frames and sash shall be repaired as a first course of action. When repair is not possible, elements shall be replaced with matching wood members. Metal or vinyl replacement windows may be acceptable provided they match the original windows in design and type and that they consist of or are painted an appropriate color. Bare metal finishes generally will not be acceptable.

The size of glass lites and muntin arrangements shall not be altered without Commission approval. Special glazing, such as stained or leaded art glass, shall not be removed without Commission approval. Unusual decorative windows such as Palladian windows, oriels, bays, Gothic arch or segment tops, etc. shall not be removed or altered.

Storm Windows

Wood storm and screen windows are the most appropriate for use in the historic district. Other types of storm, screen, or combination windows will be approved provided that the new storm window mullions align with the mullions of the primary windows. Blind stop storm and screen windows (where such windows are placed inside the existing window frames rather than affixed to the exterior of the frames) are preferable and may be required in some instances. Bare metal storm and screen windows must be painted to match or complement the trim. Interior storm windows may be acceptable as long as they do not detract from the appearance of the primary windows. Care should be taken, however, when using interior storm windows because condensation tends to form on the inside surface of the primary window and could cause damage to the wood and paint if not properly ventilated.

Primary Doors

Every effort should be made to preserve or repair the original doors where damage has occurred. When repair is not possible, a new wood door may be used. Such new door shall match the original in detail and finish.

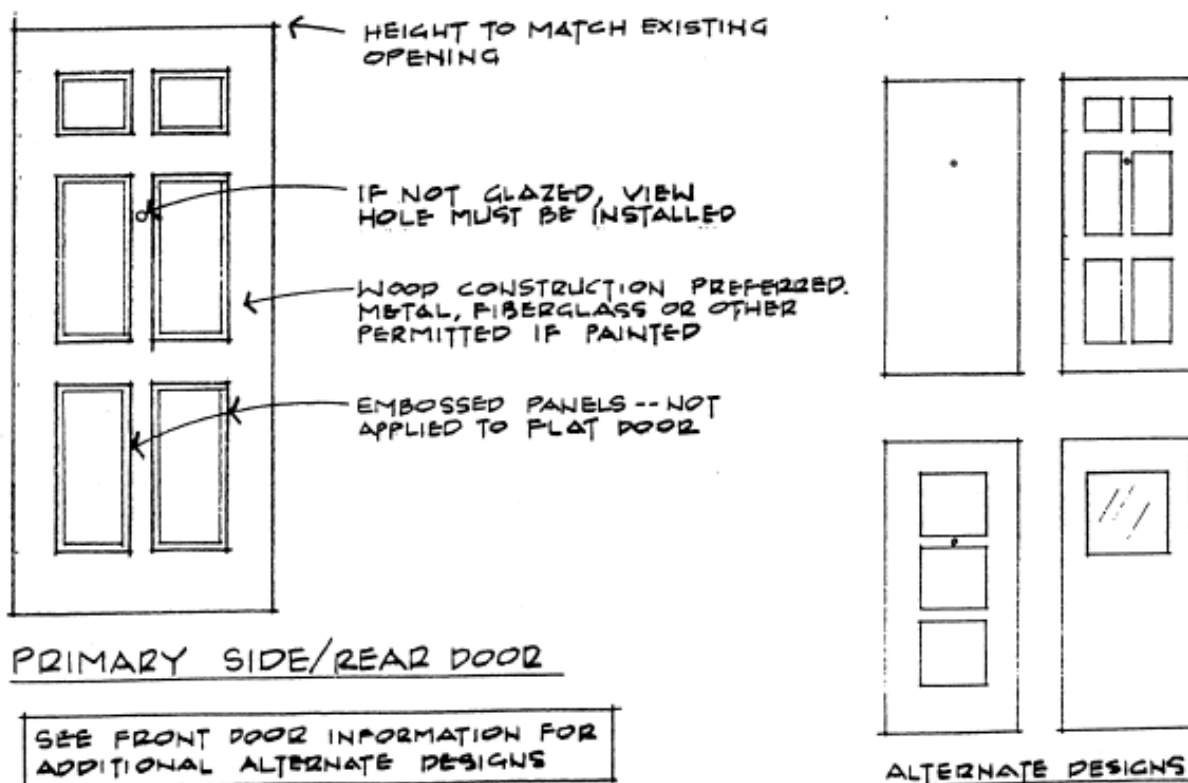
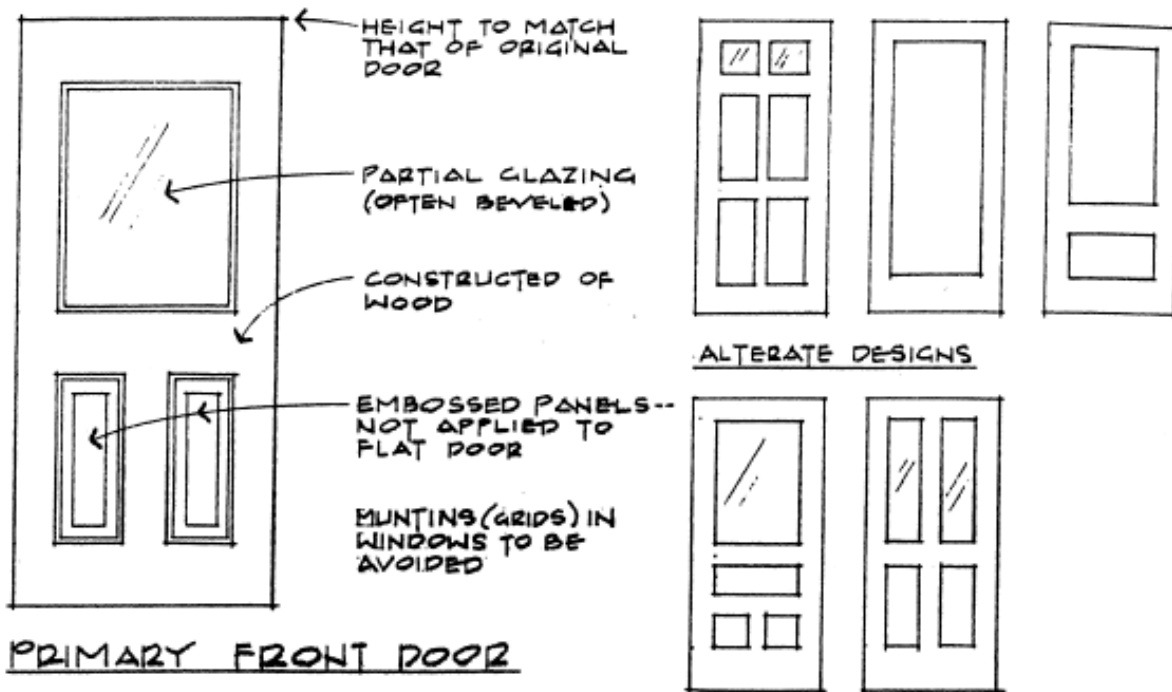
The Commission may approve new wood doors that may slightly differ from the original in cases where replicating the original may not be feasible, as long as such doors generally conform to the ones illustrated on the attached sheet. Under certain circumstances, the Commission may approve doors made of material other than wood provided they conform to the same design requirements.

Storm Doors

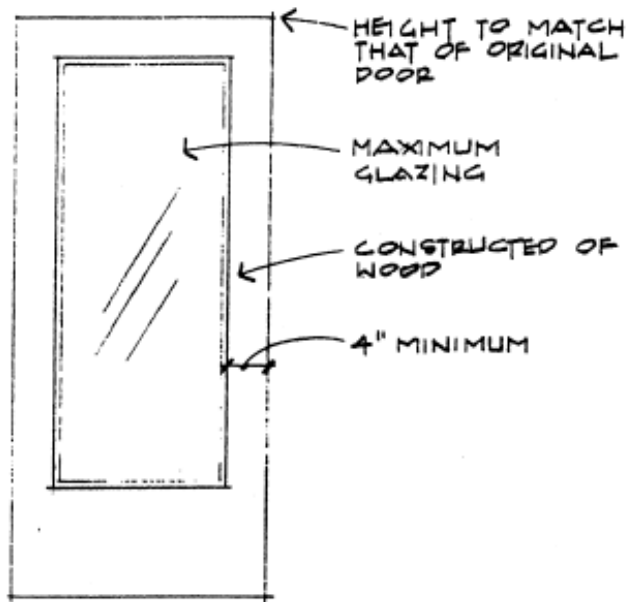
Wooden storm and screen doors are preferred and will generally be the required option especially on the front of the structure. Aluminum or metal storm and screen doors may be used so long as they are not mill finished or anodized aluminum. Baked enamel or other applicable paints or finishes will be acceptable. In general, storm and screen doors shall conform to those illustrated on the attached sheet. The door stiles and rails should be a minimum of 4" wide and one lite doors, where practical, are preferred in order not to detract from the existing primary door. Jalousie doors are not acceptable for use as storm doors in the historic districts. Ornamental iron work safety doors are also generally inappropriate in the historic districts.

Exterior Woodwork

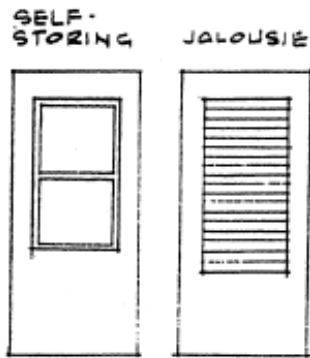
Existing decorative woodwork such as railings, moldings, eave, and gable cornice trim, tracery, columns, observatories, scrolls, bargeboards, lattice, and other carved or sawn wood ornament shall not be removed or altered without Commission approval. Existing deteriorated ornamental woodwork shall not be removed but shall be repaired or replaced with matching materials where possible.



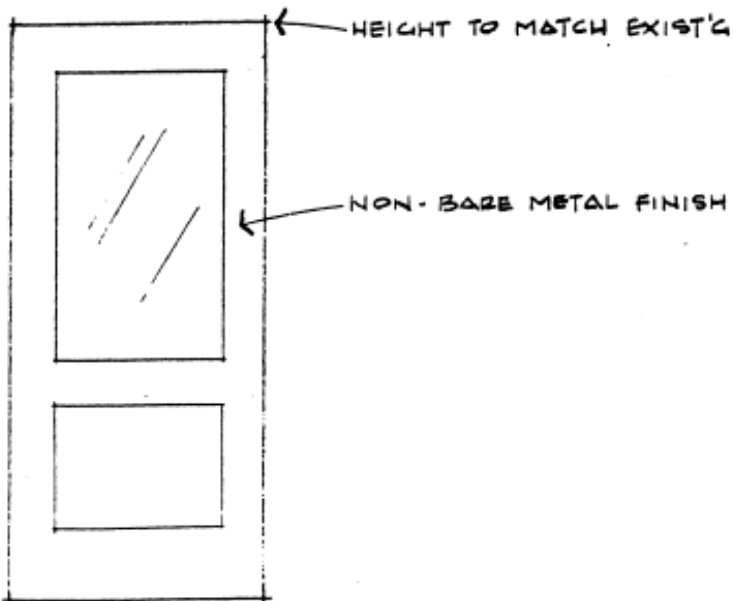
GRAPHICS COURTESY CITY OF KALAMAZOO



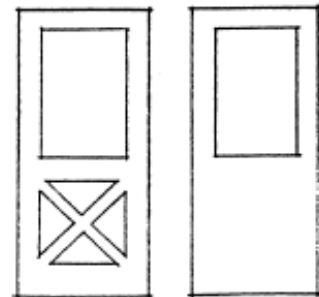
FRONT STORM DOOR



NOT PERMITTED



SIDE/REAR STORM DOOR



GRAPHICS COURTESY CITY OF KALAMAZOO

CITY OF MUSKEGON

HISTORIC DISTRICT COMMISSION

GENERAL UTILITY/OUTDOOR APPLIANCES

(Adopted July 7, 2020 - Effective July 7, 2020)

General

Many historic resources have survived over the years with minimal alterations to the fabric of the building. Recent inventions and conveniences have placed a toll on the historic nature of our resources. These conveniences should not be prohibited, but regulated in a fashion that allows for the enjoyment of the resource while keeping the integrity of the district intact.

Guidelines

Air conditioning - Like many other modern day conveniences, A/C units can have a potential detrimental impact on the look of an historic resource. Large ‘whole house units’ should be placed inconspicuously – such as on the roof, in the rear, or on the side of structures not facing streets. Roof mounted equipment is to be screened by architectural features from the view of abutting streets and parcels. Equipment at grade is to be screened by landscaping, a solid wall or fencing from the view of the street or surrounding property. Tubing and connections must not be readily visible.

Window air conditioning units - Units that do not change window structure are permitted on the sides and rear of resources not facing streets. All other placements must be approved by the Historic District Commission.

Other air conditioning units - Units that must be placed in walls are discouraged because they may degrade the structural integrity of the resource. However, if properly installed, they may be placed in areas of the resource not facing the street. The Historic District Commission may approve other installations if screened from street view.

Satellite Dish Antennae - Over the years this type of equipment has drastically decreased in size to roughly 18”. However, they are still a visual, exterior change on a historic structure, and a generally negative influence in historic districts. Older satellite dishes that are greater than several feet in size are not permitted in the front yard of a resource. The smaller dish may be permitted in the front yard when proper screening (such as landscaping, solid wall, or fencing) obscures it from the street. Antennae should not be placed on the front half of the resource, including the roof, unless it can be obscured from street view. The Historic District Commission recommends that if an antennae needs to be installed, it should be placed in the rear yard of the resource. If it must be attached to the resource, then great care must be taken to secure it properly to the rear half of the resource, and route the cables so as to not damage the physical materials of the house.

Electrical, gas, water, and other utilities - As a first course of action, these services must be in good repair and be located out of view from the street. However, the appropriate code must be followed

for health and safety issues. When impossible to locate utility out of sight, the Historic District Commission may require it to be screened from view with landscaping, a solid wall, or fencing.

Solar panels - All solar panels and associated mechanical or service equipment should not be located on a primary or character-defining elevation or roof, nor damage or obscure character-defining features of the resource. New solar panels mounted at grade level should be located in an area not visible from the street. New solar panels located on a sloped roof surface should be installed parallel to the roof, should match or be similar in color to the roof surface, should not extend more than eight (8) inches above the roof surface, and should be installed on the rear half of resources (typically a side- or rear-facing roof surface) out of view from the street. New solar panels located on flat roof surfaces should be located and positioned to reduce visibility from the street and should utilize existing architectural features (parapets, chimneys, dormers, etc.) to further limit their visibility.